PORT OF TACOMA

FABULICH CENTER
BUILDING ENVELOPE RESTORATION
101529.02
CONTRACT #071645

PORT COMMISSIONERS:

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DON MEYER
JOHN MCCARTHY
KRISTIN ANG
DEANNA KELLER

PORT STAFF:

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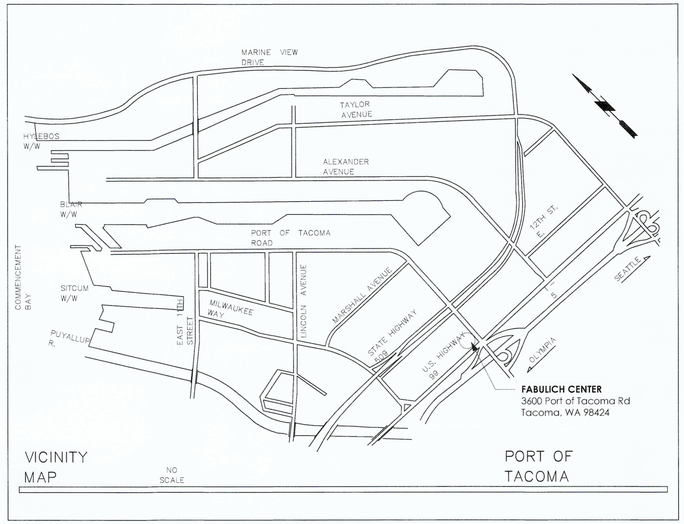
Port of Tacoma Executive Director

THAIS HOWARD, P.E.
Director of Engineering

NORMAN GILBERT, P.E.
Project Manager

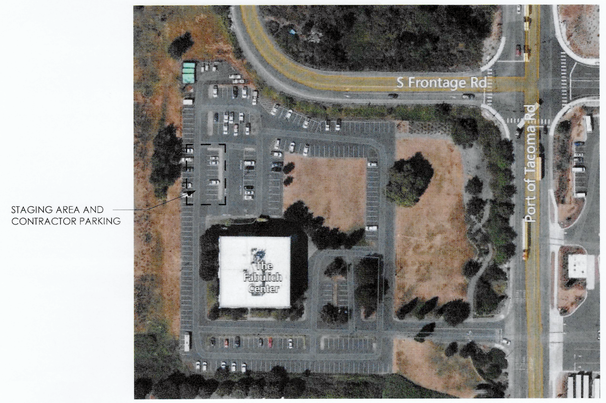


CONSULTANT:

ENVELOPE	ARCHITECTURE
ABBAE	TCF ARCHITECTURE
CONTACT: John Moellenhoff 805 SW Broadway, Suite 2780 Portland, OR 97205 PHONE: 206-604-9863 EMAIL: jmoellenhoff@abbae.com	CONTACT: Mark Hurley 902 N 2nd St Tacoma, WA 98403 PHONE: 253-572-3993 EMAIL: mark@tcfarchitecture.com

DRAWING LIST

SHEET DESIGNATION	SHEET #	SHEET TITLE	REVISION
G1.01	1	COVER SHEET	
A5.01	2	EXTERIOR ELEVATIONS	
A5.02	3	EXTERIOR ELEVATIONS	
D1.01	4	EXTERIOR WALL AND WINDOW PHOTOS	
W3.01	5	EXTERIOR WALL AND WINDOW DETAILS	
W3.02	6	WINDOW WET FLASH DETAILS	



STAGING AREA PLAN
NTS

NORTH

TCF Architecture
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902 North SecondStreet,Tacoma, WA 98403
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P.O. BOX 1837 TACOMA, WA 98401 (253)383-5841

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APPROVED: Checker 09/21/2021
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FABULICH CENTER
BUILDING ENVELOPE RESTORATION
COVER SHEET

TOWNSHIP: RANGE: SECTION:
DAT-HRZ: WA-83 SF VERT:
PARCEL: DRAWING SCALE: AS NOTED

6674
G1.01
1 OF 6

CONT/CONS: 071645
M. ID: 101529.02
PHASE: BID SET - 1/26/22

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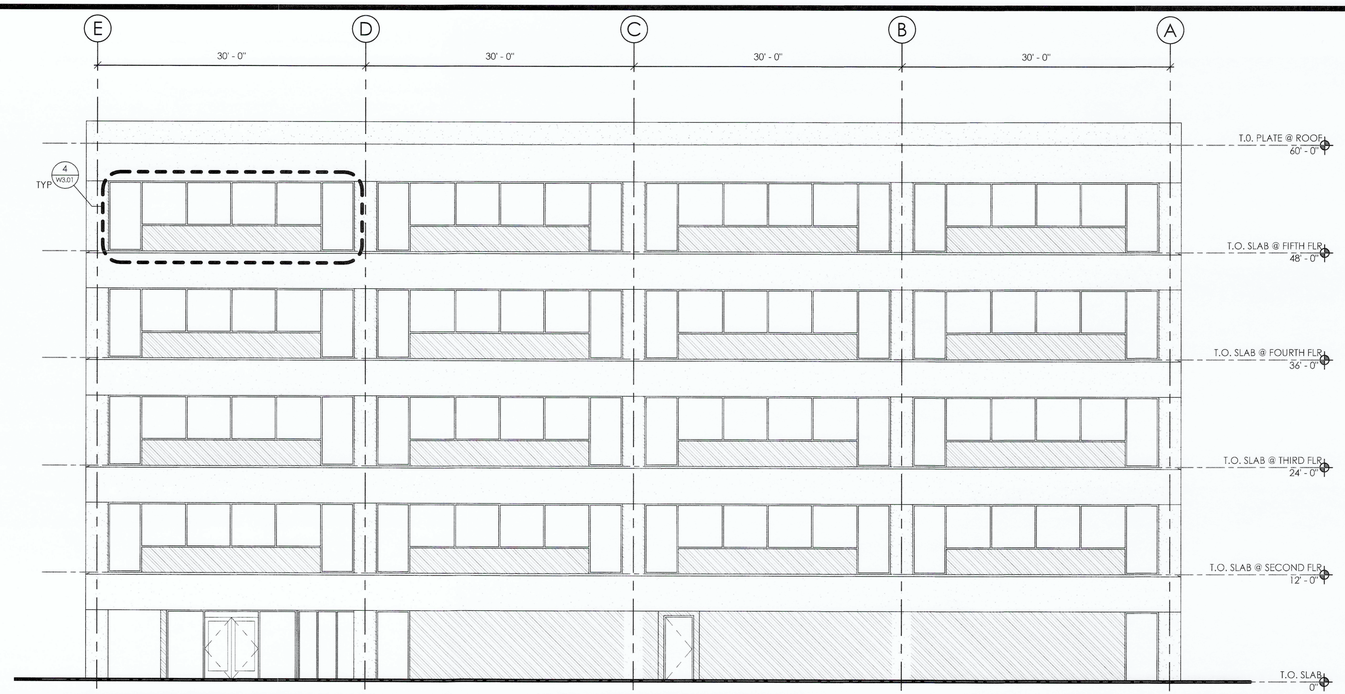
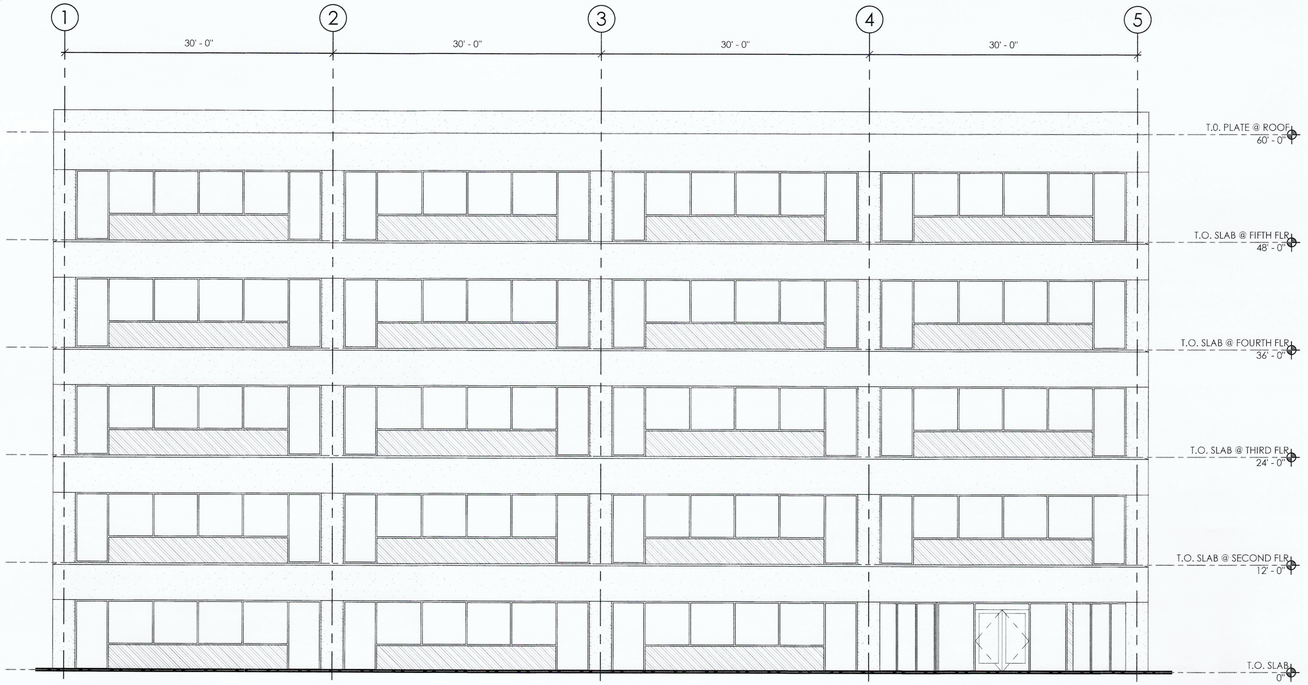


1 EXISTING EXTERIOR ELEVATION - NORTH (FOR REFERENCE ONLY)
1/8" = 1'-0"



2 EXISTING EXTERIOR ELEVATION - EAST (FOR REFERENCE ONLY)
1/8" = 1'-0"

GENERAL NOTES

1. SEE 'D' AND 'W' SHEETS FOR EXTERIOR ELEVATION SCOPE REQUIREMENTS.
2. PROTECT LANDSCAPING AND ALUMINUM/GLASS DURING CLEANING AND SEALING ACTIVITIES.
3. CONTRACTOR SHALL PROVIDE MEANS TO PROTECT THE PUBLIC AND BUILDING OCCUPANTS ENTRY AND EXITS. ALL EGRESS DOORS TO REMAIN OPEN AND FUNCTIONAL DURING BUSINESS HOURS DURING THE DEMOLITION AND APPLICATION PROCESS.
4. DAILY CLEANUP REQUIRED.

LEGEND

- EXISTING CONCRETE
- EXISTING STUCCO
- EXISTING ALUMINUM FRAME / GLASS

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FABULICH CENTER
BUILDING ENVELOPE RESTORATION
EXTERIOR ELEVATIONS

TOWNSHIP: RANGE: SECTION:
DAT-HRZ: WA-83 SF VERT:
PARCEL: DRAWING SCALE: AS NOTED

6674
A5.01
2 OF 6

CONT/CONS: 071645
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BINDING EDGE

1 EXISTING EXTERIOR ELEVATION - SOUTH (FOR REFERENCE ONLY)
1/8" = 1'-0"

2 EXISTING EXTERIOR ELEVATION - WEST (FOR REFERENCE ONLY)
1/8" = 1'-0"

GENERAL NOTES

1. SEE 'D' AND 'W' SHEETS FOR EXTERIOR ELEVATION SCOPE REQUIREMENTS.
2. PROTECT LANDSCAPING AND ALUMINUM/GLASS DURING CLEANING AND SEALING ACTIVITIES.
3. CONTRACTOR SHALL PROVIDE MEANS TO PROTECT THE PUBLIC AND BUILDING OCCUPANTS ENTRY AND EXITS. ALL EGRESS DOORS TO REMAIN OPEN AND FUNCTIONAL DURING BUSINESS HOURS DURING THE DEMOLITION AND APPLICATION PROCESS.
4. DAILY CLEANUP REQUIRED.

LEGEND

- EXISTING CONCRETE
- EXISTING STUCCO
- EXISTING ALUMINUM FRAME / GLASS

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FABULICH CENTER
BUILDING ENVELOPE RESTORATION
EXTERIOR ELEVATIONS

CONTRACT/CONS.	071645	TOWNSHIP:	RANGE:
M. I.D.	101529.02	DAT-HRZ:	WA-83 SF
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SECTION:

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3 OF 6

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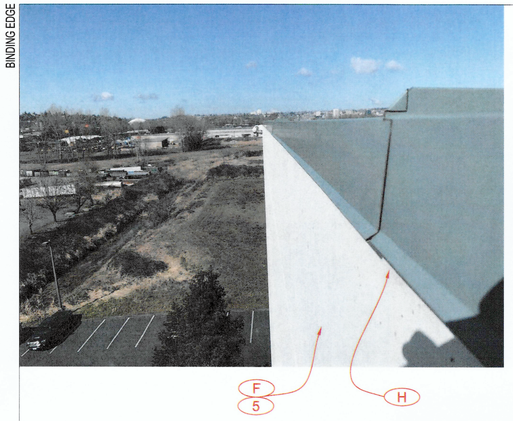
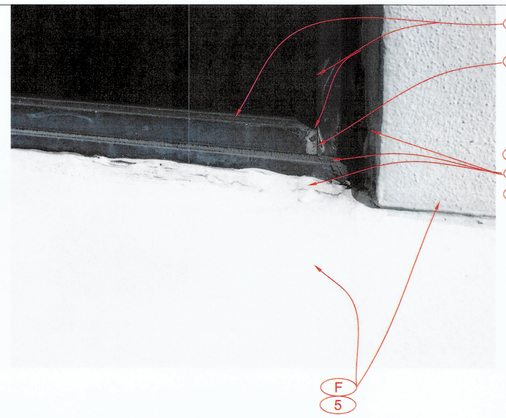
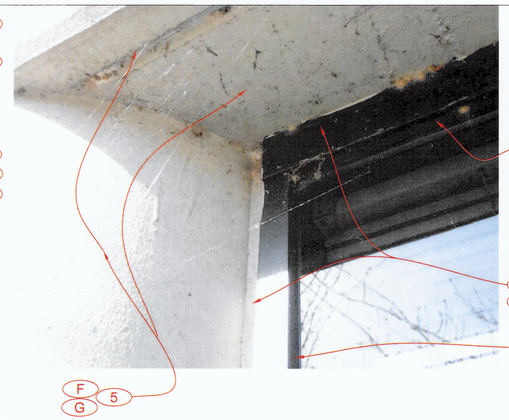


1 D1.01 PHOTO PARAPET
SCALE: NOT TO SCALE

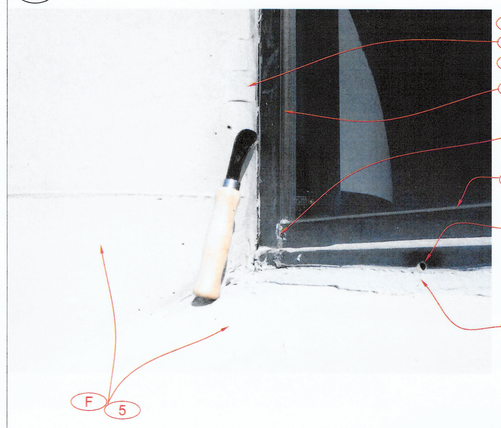


2 D1.01 PHOTO WALL TO WINDOW
SCALE: NOT TO SCALE



3 D1.01 PHOTO WALL AND WINDOW HEAD
SCALE: NOT TO SCALE

4 D1.01 PHOTO BUILDING OVERALL
SCALE: NOT TO SCALE



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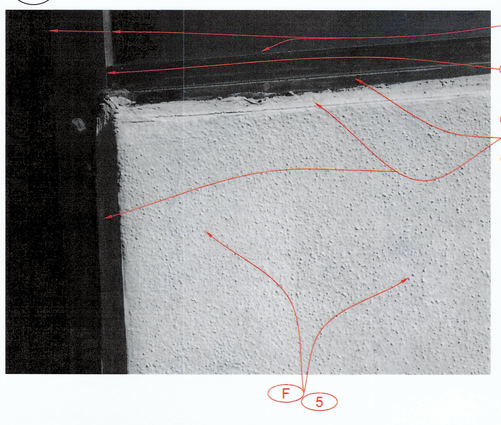

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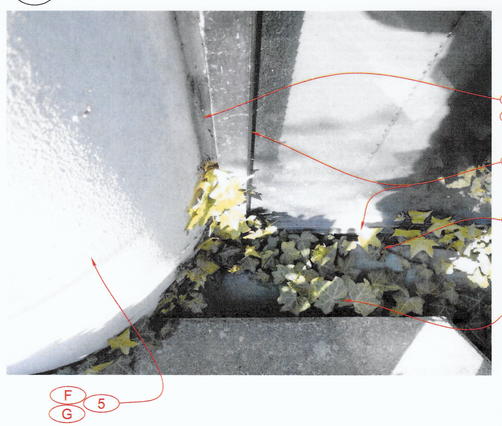

7 D1.01 PHOTO WALL AND WINDOW AT GRADE
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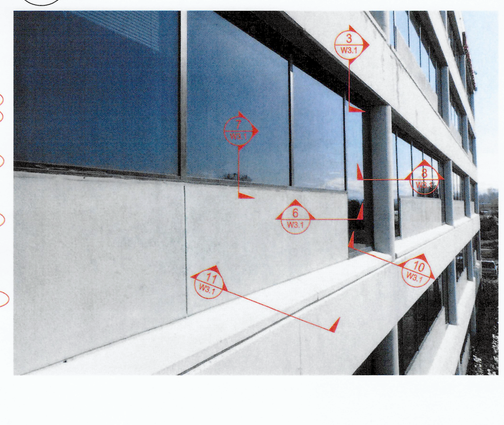

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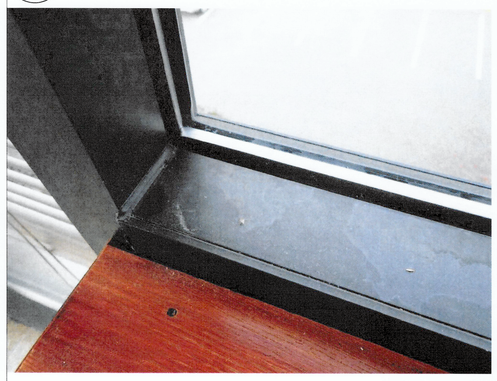

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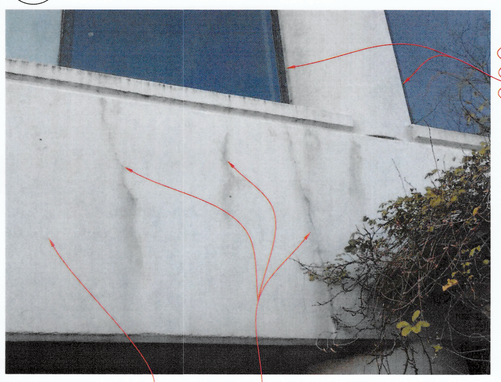

10 D1.01 PHOTO WALL AND WINDOWS
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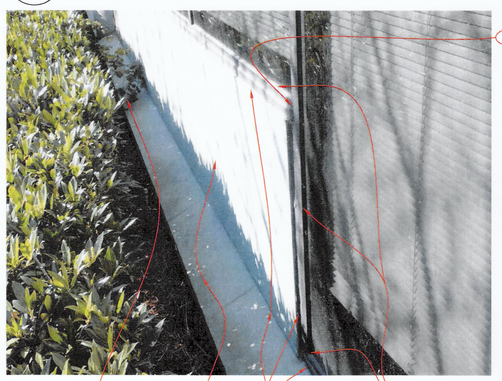

11 D1.01 PHOTO WALL AND WINDOW AT GRADE
SCALE: NOT TO SCALE

GENERAL NOTES

- REFER TO SUMMARY OF WORK AND PRODUCT SPECIFICATIONS
- PRIOR TO SEALANT APPLICATION AND SILICONE COATING, AN ADHESION TEST PERFORMED BY THE MANUFACTURERS REPRESENTATIVE FOR COATINGS AND SEALANTS IS REQUIRED.
- PROTECT GLASS FROM DAMAGE AND CLEAN AFTER COMPLETION OF WORK
- MOCK UPS, ADHESION TESTS AND PERIODIC FIELD REVIEWS BY EXTERIOR CONSULTANT ARE AND SHALL BE COORDINATED BY THE CONTRACTOR.

TYPICAL PREPARATION KEY NOTES

AS NOTED WITH: (A,B,..)

A. REMOVE EXISTING LANDSCAPING IN AREA OF WORK.
B. REMOVE AND SAVE FOR RESETTING ALL LIGHTS, CAMERAS, SIGNS AND OTHER ITEMS ATTACHED TO FACADE WHICH WILL BE IN THE WAY OF REPAIR WORK. RESET ITEMS AFTER COMPLETION OF WORK
C. REMOVE ALL EXISTING SEALANTS ON BUILDING AT WINDOW FRAME TO FRAME, FRAME TO EXTERIOR SUBSTRATE, BETWEEN EXTERIOR SUBSTRATES. EXISTING SEALANTS MUST BE COMPLETELY REMOVED PRIOR TO APPLICATION OF NEW MATERIALS.
D. ENSURE ALL EXISTING WEEPS IN STOREFRONT SILL ARE EXPOSED AND CLEANED TO ALLOW FOR DRAINAGE.
E. REMOVE STOREFRONT GASKETS, AS NEEDED TO INSTALL A "WET SEAL" BETWEEN GLASS AND STOREFRONT FRAMES.
F. CLEAN AND PREPARE ALL CONCRETE AND STUCCO SURFACES, AS RECOMMENDED BY COATING MANUFACTURER. PROVIDE PRESSURE WASHING AT PRESSURE RATINGS APPROVED BY COATING MANUFACTURER AND ALLOW TO DRY BEFORE COATING.
G. ROUTE OUT AND PREPARE ALL EXTERIOR CRACKS WITH COMPATIBLE SILICONE SEALANT PRIOR TO COATING. IF LARGE CRACKS OVER ¾" ARE ENCOUNTERED, CONTACT ARCHITECT TO REVIEW REPAIR AND PATCHING REQUIREMENTS.
H. LIFT UP OR TEMPORARILY REMOVE STANDING SEAM METAL PARAPET TO ALLOW FOR SILICONE COATING UNDERNEATH. PROTECT PARAPET METAL FROM NEW COATING.

REPAIR KEY NOTES

AS NOTED WITH: (1,2,..)

1. PROVIDE BACKER ROD AND SEALANT OR FILLET SEALANT (WITH BOND BREAKER TAPES) AT WINDOW FRAME TO EXTERIOR CLADDING OR STRUCTURE. DO NOT SEAL OVER EXISTING WEEP HOLES IN STOREFRONT SILL. SEE 9A AND 9B/W3.01.
2. PROVIDE SEALANT BAND AIDS AT ALL STOREFRONT FRAME TO FRAME JUNCTIONS. DO NOT SEAL OVER EXISTING WEEP HOLES IN STOREFRONT SILL. SEE 11/W3.02.
4. AFTER REMOVING EXTERIOR PORTION OF WINDOW GASKETS, INSTALL "WET SEAL" AT GLASS TO WINDOW FRAMES AT ALL LOCATIONS. SEE 12/W3.02.
5. COAT ALL PROPERLY PREPARED CONCRETE AND STUCCO SURFACES WITH 2 COATS OF SILICONE COATING. APPLIED PER MANUFACTURER RECOMMENDATIONS AFTER MANUFACTURER APPROVED ADHESION TESTING.

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	REV2	BY2	APP2	RDATE2

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WEATHERIZATION CONSULTANT:
Allen Building Labs
300 W. Elliot Ave. West Suite 200
Seattle, WA 98119
206-443-8489
www.allenbldg.com

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FABULICH CENTER
BUILDING ENVELOPE RESTORATION
EXTERIOR WALL AND WINDOW PHOTOS

CONTICONS:	071645	TOWNSHIP:	SECTION:
M. ID:	101529.02	DAT-HRZ:	WA-83 SF
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D1.01
SH # 4 OF 6

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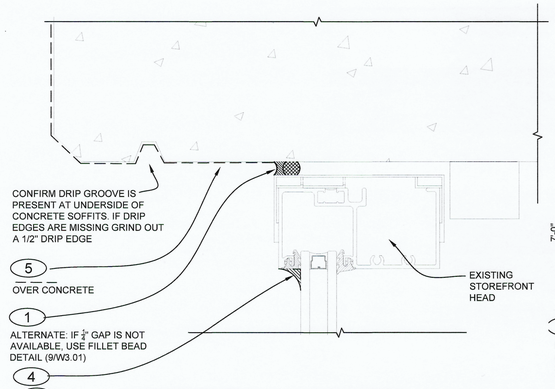
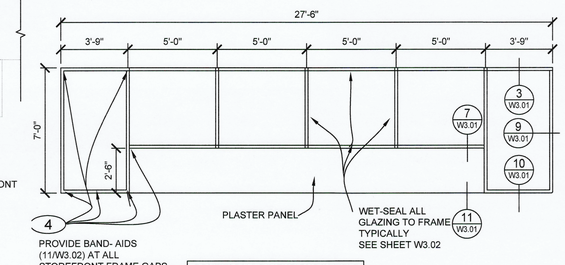


3 W3.01 **STOREFRONT HEAD DETAIL**

SCALE: 6"=12" (do not scale)

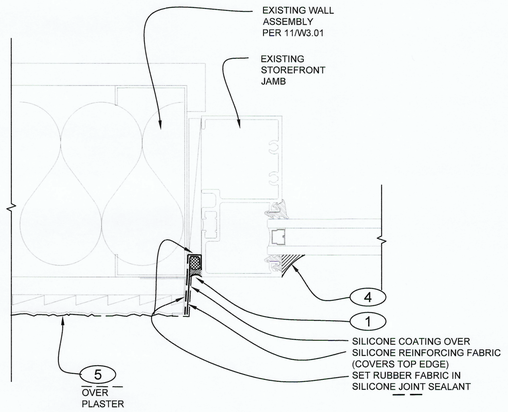
NOTE: ALL STOREFRONT FRAMES SHALL RECEIVE WET SEALS (REFER TO SHEET W3.02



CONFIRM ALL DIMENSIONS IN FIELD

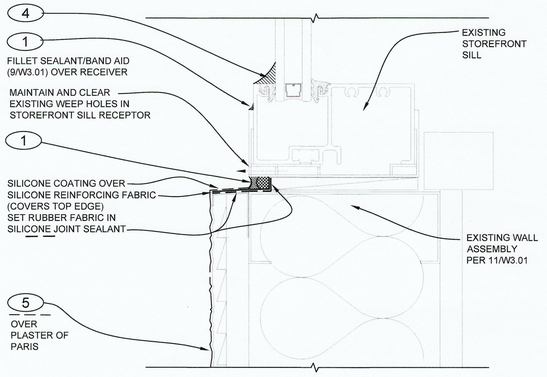
4 W3.01 **TYPICAL STOREFRONT ELEVATION**

SCALE: 1/4"=12" (do not scale)



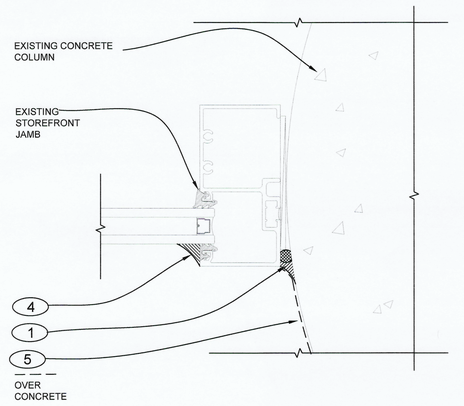
6 W3.01 **STOREFRONT JAMB AT PLASTER**

SCALE: 6"=12" (do not scale)



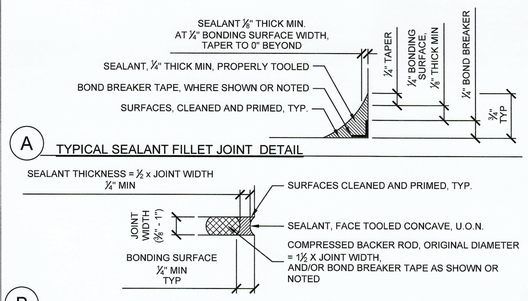
7 W3.01 **STOREFRONT SILL AT PLASTER**

SCALE: 6"=12" (do not scale)



8 W3.01 **STOREFRONT JAMB AT CONCRETE**

SCALE: 6"=12" (do not scale)



A **TYPICAL SEALANT FILLET JOINT DETAIL**

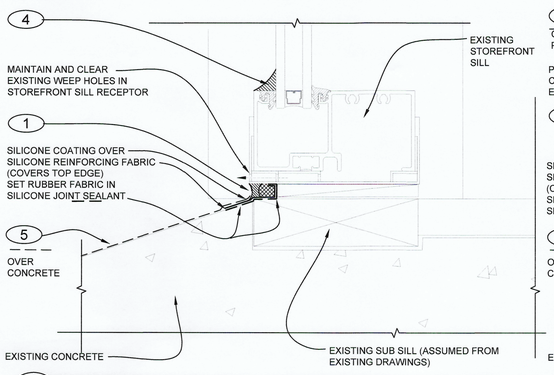
B **TYPICAL BACKER ROD AND SEALANT JOINT DETAIL**

TYPICAL NOTES, ALL SEALANT JOINTS:

1. CLEAN ALL SURFACES TO RECEIVE SEALANTS AND USE SEALANT MANUFACTURER'S RECOMMENDED PRIMER.
2. MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
3. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.
4. INSTALL BOND BREAKER TAPE OR CLOSED-CELL BACKER ROD WHERE SHOWN OR NOTED.

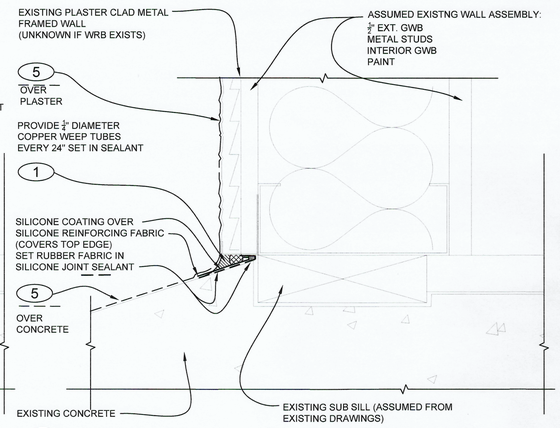
9 W3.01 **TYPICAL SEALANT JOINTS**

SCALE: 3"=12" (do not scale)



10 W3.01 **STOREFRONT SILL AT CONCRETE BASE**

SCALE: 6"=12" (do not scale)



11 W3.01 **PLASTER WALL AT CONCRETE BASE**

SCALE: 6"=12" (do not scale)

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REPAIR KEY NOTES AS NOTED WITH: (1,2,)

1. PROVIDE BACKER ROD AND SEALANT OR FILLET SEALANT (WITH BOND BREAKER TAPES) AT WINDOW FRAME TO EXTERIOR CLADDING OR STRUCTURE. DO NOT SEAL OVER EXISTING WEEP HOLES IN STOREFRONT SILL. SEE 9A AND 9B/W3.01.
2. PROVIDE SEALANT BAND AIDS AT ALL STOREFRONT FRAME TO FRAME JUNCTIONS. DO NOT SEAL OVER EXISTING WEEP HOLES IN STOREFRONT SILL. SEE 11/W3.02.
4. AFTER REMOVING EXTERIOR PORTION OF WINDOW GASKETS, INSTALL "WET SEAL" AT GLASS TO WINDOW FRAMES AT ALL LOCATIONS. SEE 12/W3.02.
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DRAWING SCALE: AS NOTED

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EXTERIOR WALL AND WINDOW DETAILS

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6674
W-3.01
SH 5 OF 6

CONT/CONS.	071945
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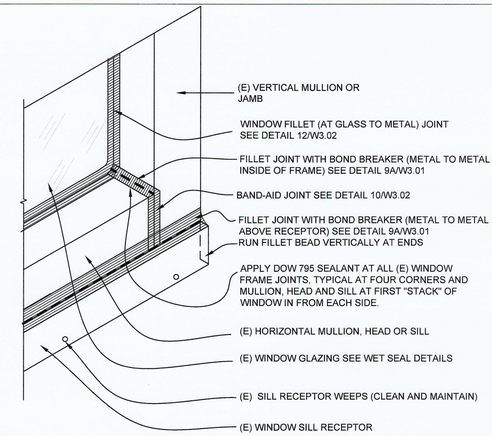
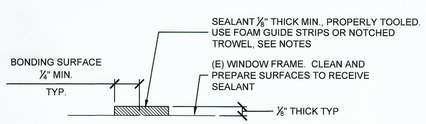


3 / W3.02 **TYPICAL WINDOW FRAME SEALANT**

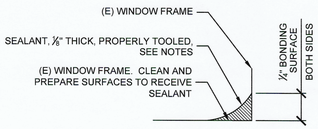
SCALE: 3"=12" (do not scale)



NOTES:
1. REMOVE (E) SEALANTS IN AREAS TO RECIEVE SEALANTS.
2. MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
3. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.

10 / W3.02 **WINDOW FRAME BAND AID JOINT**

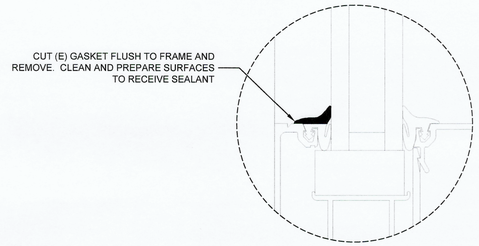
SCALE: 3"=12" (do not scale)



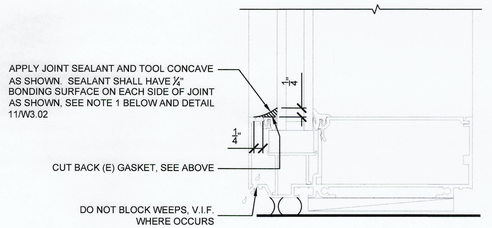
NOTES:
1. REMOVE (E) SEALANTS IN AREAS TO RECIEVE SEALANTS.
2. MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
3. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.

11 / W3.02 **WINDOW FRAME SEALANT JOINT**

SCALE: 3"=12" (do not scale)



ENLARGED DETAIL



NOTES:
1. DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.
2. DRAWING IS DIAGRAMMATIC AND DOES NOT EXACTLY REPRESENT EXISTING CONDITIONS

12 / W3.02 **DIAGRAM OF WET SEAL PROCEDURE**

SCALE: 6"=12" (do not scale)

Port of Tacoma
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FABULICH CENTER
BUILDING ENVELOPE RESTORATION
WINDOW WET FLASH DETAILS

CONT/CONS:	0716/45	TOWNSHIP:	RANGE:
M. ID:	101529.02	DAT-HRZ:	WA-83 SF
PHASE:	BID SET - 1/26/22	PARCEL:	VERT:

SECTION:
DRAWING SCALE: AS NOTED
3600 PORT OF TACOMA RD
TACOMA, WA 98424

6674
W-3.02
SH # 6 OF 6